

Winnebago County Planning and Zoning Department

NOTICE OF PUBLIC HEARING BOARD OF ADJUSTMENT December 21, 2022

TO WHOM IT MAY CONCERN:

The applicant(s) listed below has requested a variance which is regulated by one or more of the following ordinances: Chapter 23, the Town/County Zoning Code, Chapter 26, the Floodplain Zoning Code, and Chapter 27, the Shoreland Zoning Code. You are receiving this notice because this application or petition for action: 1. affects area in the immediate vicinity of property which you own; 2. requires your agency to be notified; 3. requires your Town to be notified; or 4. requires you, as the applicant, to be notified.

The Winnebago County Board of Adjustment will be holding a public hearing on December 21, 2022 at 5:30 PM in Conference Room 120 of the County Administration Building located at 112 Otter Ave, Oshkosh, WI.

All interested persons wishing to be heard at the public hearing may appear in person or via Zoom using the meeting information below. A direct link to the Zoom Meeting is available on the Winnebago County Meetings and Agenda Calendar on the above indicated date.

ZOOM MEETING INFORMATION LINK: <https://www.co.winnebago.wi.us/planning-and-zoning/boa-meeting-links>

Additional Instructions can be found at: <https://www.co.winnebago.wi.us/planning-and-zoning>.

For further detailed information concerning this notice, contact the Town Clerk or the Winnebago County Zoning office where the application is available for viewing.

INFORMATION ON VARIANCE REQUEST

Application No.: 2022-VA-6220

Applicant: WINNEBAGO CO PARKS

Agent: SKALECKI, PATRICK

Location of Premises: 1801 GRUNDMAN LN

Tax Parcel No.: 026-064104

Legal Description: Being part of Government Lot 1 of Section 20, Township 19 North, Range 17 East, Town of Vinland, Winnebago County, Wisconsin.

Explanation: Applicant is requesting a variance for a sub standard shore yard setback requirement.

DESCRIPTION:	CODE REFERENCE:	REQUIRED:	PROPOSED:
The shore yard setback from the nearest point of any structure shall be at least 75 ft from the OHWM unless exempt under section 6.1(1) or reduced under section 6.2.	27-6.1	Shore Yard: 75 ft	Shore Yard: Fee Station/Kiosk Structures (closest point): 32.88 Boat Ramp/Pavement: 0 ft

INITIAL STAFF REPORT

Sanitation: Required; Private System

Overlays: Shoreland, floodplain, wetlands

Current Zoning: A-2 General Agriculture

Surrounding Zoning: North: A-2; South: R-1;A-2; East: Lake Winnebago; West: R-1;A-2;

Code Reference: 27-6.1

Description of Proposed Use: Applicant is requesting a variance for a sub standard shore yard setback requirement.

THE FOLLOWING INFORMATION HAS BEEN PROVIDED BY THE OWNER/APPLICANT

Describe your project, include the proposed dimensions and setbacks: The proposed project consists of a parking lot with 120 boat trailer parking stalls, 5 car parking stalls, and 6 ADA parking stalls, an expanded boat ramp with 6 total launch areas, bathroom building, open air shelter, sidewalks, gravel walking path, floating kayak launch, piers, storm water management facilities, and landscaping elements. All parking stalls, bathroom building, open air shelter, and storm water management facilities are outside of the 75' shoreland setback. Asphalt drive lanes, boat launch, sidewalk, gravel path, kayak launch, and piers will have as little as 0' setback.

Describe how compliance with the requirement in question unreasonably prevents or restricts development of a permitted use on the property: The Wisconsin Department of Natural Resources permits boat launches below the Ordinary High Water Mark. The proposed drive lanes of this project are required to be built within the 75' shoreland setback in order to access the permitted boat launch. Any area of the boat launch above the Ordinary High Water Mark is also necessary for the operation and construction of the boat launch below the Ordinary High Water Mark. WDNR has already issued an approved Boat Launch General Permit for the project.

Describe the unique physical characteristics or limitations that prevent the property from being developed in compliance with the requirement in question: Access to the boat launch below the Ordinary High Water Mark is required to take place within 75' of the Ordinary High Water Mark.

Describe how the granting of the requested variance will not harm the public interest or have adverse affects on surrounding properties: The existing boat launch is one of the most used to access Lake Winnebago. Increasing the number of launch points and parking spaces will alleviate congestion and street parking near the launch and provide a public benefit for water access.

SECTION REFERENCE AND BASIS OF DECISION

Basis of Decision: Town/County Zoning Code: 23.7-234

When making its decision, the Board of Adjustment shall consider each of the following standards:

- (1) The requirement in question would unreasonably prevent the property owner from using the property for a permitted purpose or would render conformity with such requirement unnecessarily burdensome and such circumstances were not self-created.
- (2) The subject property has unique physical characteristics or limitations that prevent the property from being developed in compliance with the requirement in question.
- (3) The granting of the variance will not be contrary to or harm the public interest given the general purposes of the zoning regulations and the specific purposes of the requirement in question.

The board shall grant a variance only if the board can make an affirmative finding for all of the criteria listed in this section.

Floodplain Zoning Code

26.6-7 Variances

(a) **Review criteria.** The Board of Adjustment may, upon appeal, grant a variance from the standards of this chapter if an applicant convincingly demonstrates that (1) literal enforcement of this chapter will cause unnecessary hardship; (2) the hardship is due to adoption of the floodplain chapter and unique property conditions, not common to adjacent lots or premises—in such case the chapter or map must be amended—; (3) the variance is not contrary to the public interest; and (4) the variance is consistent with the purpose of this chapter in s. 26.1-5.

(b) **Additional criteria.** In addition to the criteria in subsection (a), to qualify for a variance under FEMA regulations, the following criteria must be met: (1) The variance shall not cause any increase in the regional flood elevation; (2) Variances can only be granted for lots that are less than 0.5 acres and are contiguous to existing structures constructed below the regional flood elevation; (3) Variances shall only be granted upon a showing of good and sufficient cause, shall be the minimum relief necessary, shall not cause increased risks to public safety or nuisances, shall not increase costs for rescue and relief efforts, and shall not be contrary to the purpose of the chapter.

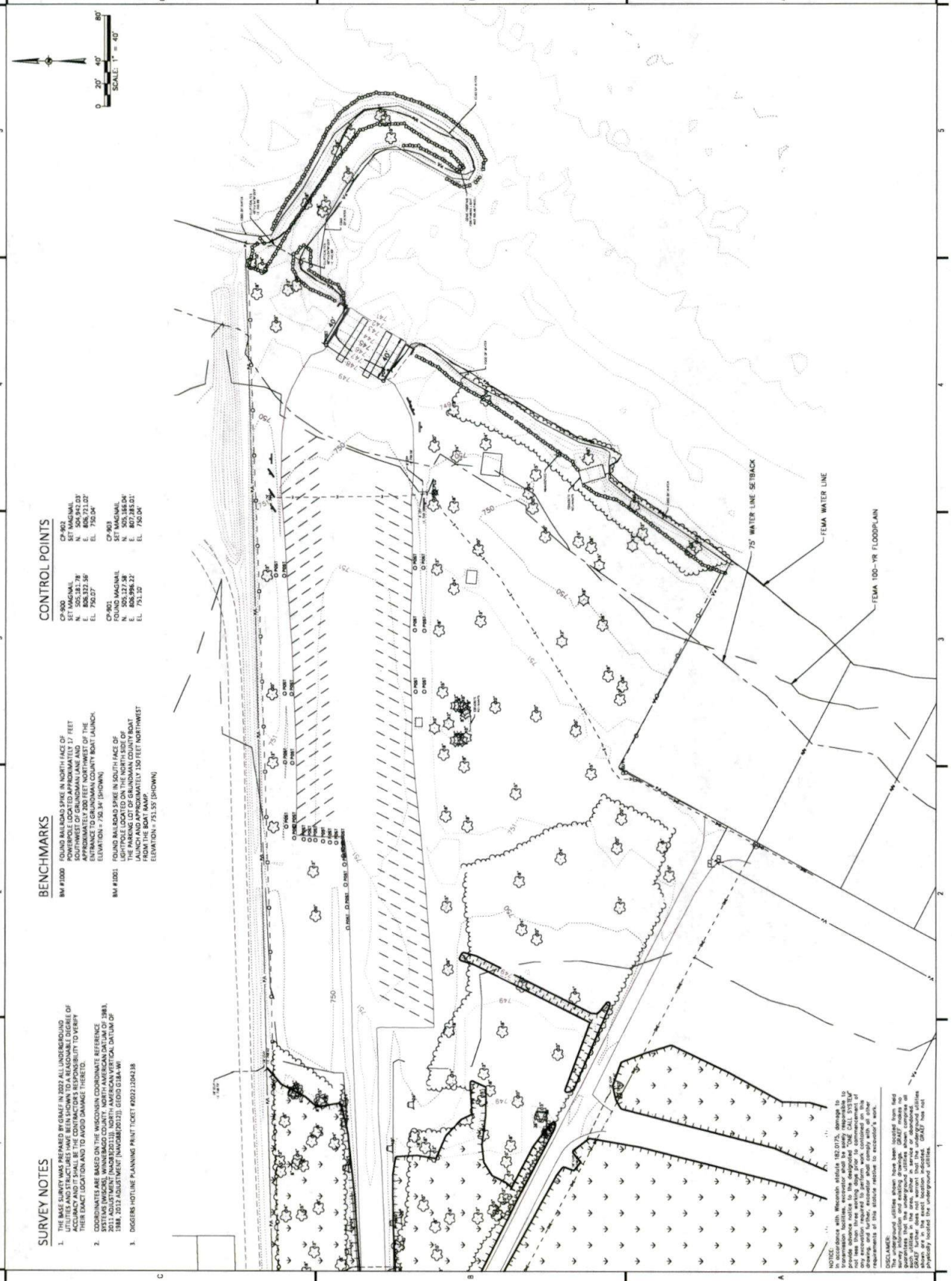
(c) **Limitations.** A variance shall not (1) grant, extend, or increase any use prohibited in the zoning district; (2) be granted for a hardship based solely on an economic gain or loss; (3) be granted for a hardship which is self-created; (4) damage the rights or property values of other persons in the area; (5) allow actions without the amendments to this chapter or map(s) required in s. 26.6-4; or (6) allow any alteration of an historic structure, including its use, which would preclude its continued designation as an historic structure.

Shoreland Zoning Code

27.14.8 Variances

(a) **Generally.** The Board of Adjustment may, upon appeal, grant a variance from the standards of this chapter if an applicant convincingly demonstrates that (1) literal enforcement of this chapter will cause unnecessary hardship; (2) the hardship is due to unique property conditions, not common to adjacent lots or premises; (3) the variance is not contrary to the public interest; and (4) the variance is consistent with the purpose of this chapter.

PRELIMINARY - NOT FOR CONSTRUCTION



CONTROL POINTS

CP#001	SET MAGNAIL	N. 806.212.07	E. 750.04
CP#002	SET MAGNAIL	N. 806.212.07	E. 750.04
CP#003	SET MAGNAIL	N. 806.212.07	E. 750.04
CP#004	SET MAGNAIL	N. 806.212.07	E. 750.04
CP#005	SET MAGNAIL	N. 806.212.07	E. 750.04
CP#006	SET MAGNAIL	N. 806.212.07	E. 750.04
CP#007	SET MAGNAIL	N. 806.212.07	E. 750.04
CP#008	SET MAGNAIL	N. 806.212.07	E. 750.04
CP#009	SET MAGNAIL	N. 806.212.07	E. 750.04
CP#010	SET MAGNAIL	N. 806.212.07	E. 750.04

BENCHMARKS

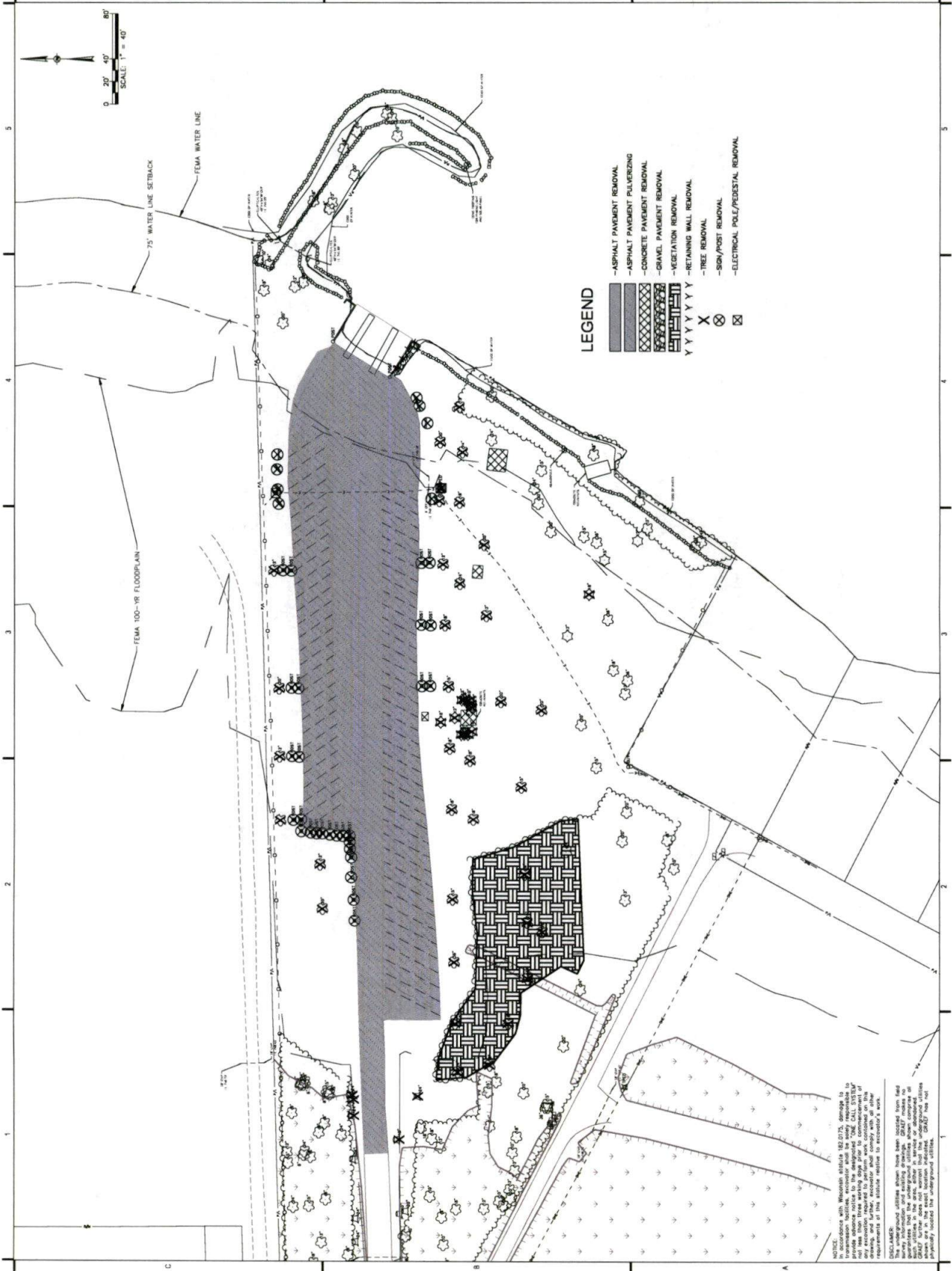
- BM #1000 FOUND BARRIADOS SPIKE IN NORTH FACE OF POWERPOLE LOCATED APPROXIMATELY 17 FEET WEST OF THE POWERPOLE APPROXIMATELY 200 FEET NORTHWEST OF THE ENTRANCE TO GRUNDMAN COUNTY BOAT LAUNCH. ELEVATION = 750.54 (SHOWN)
- BM #1001 FOUND BARRIADOS SPIKE IN SOUTH FACE OF POWERPOLE LOCATED APPROXIMATELY 150 FEET NORTHWEST FROM THE BOAT LAUNCH. ELEVATION = 751.52 (SHOWN)

SURVEY NOTES

- THE BASE SURVEY WAS PREPARED BY GRÄEF IN 2022. ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY. THE EXACT LOCATION AND DEPTH OF UTILITIES IS SUBJECT TO VARIATION. COORDINATES ARE BASED ON THE WISCONSIN COORDINATE REFERENCE SYSTEM (WISCONSIN COUNTY NORTH AMERICAN DATUM OF 1983). 1983 TO 2011 ADJUSTMENT (NAD83(2011)); GEOID GDA14.WI 1983 TO 2012 ADJUSTMENT (NAD83(2011)); GEOID GDA14.WI
- DUGGERS HOTLINE PLANNING PERMIT #020221004318

DISCLAIMER:
 The underground utilities shown have been located from field data and are shown as a general indication of their location. GRÄEF does not warrant that the utility lines are physically located in the underground utilities.

PRELIMINARY - NOT FOR CONSTRUCTION

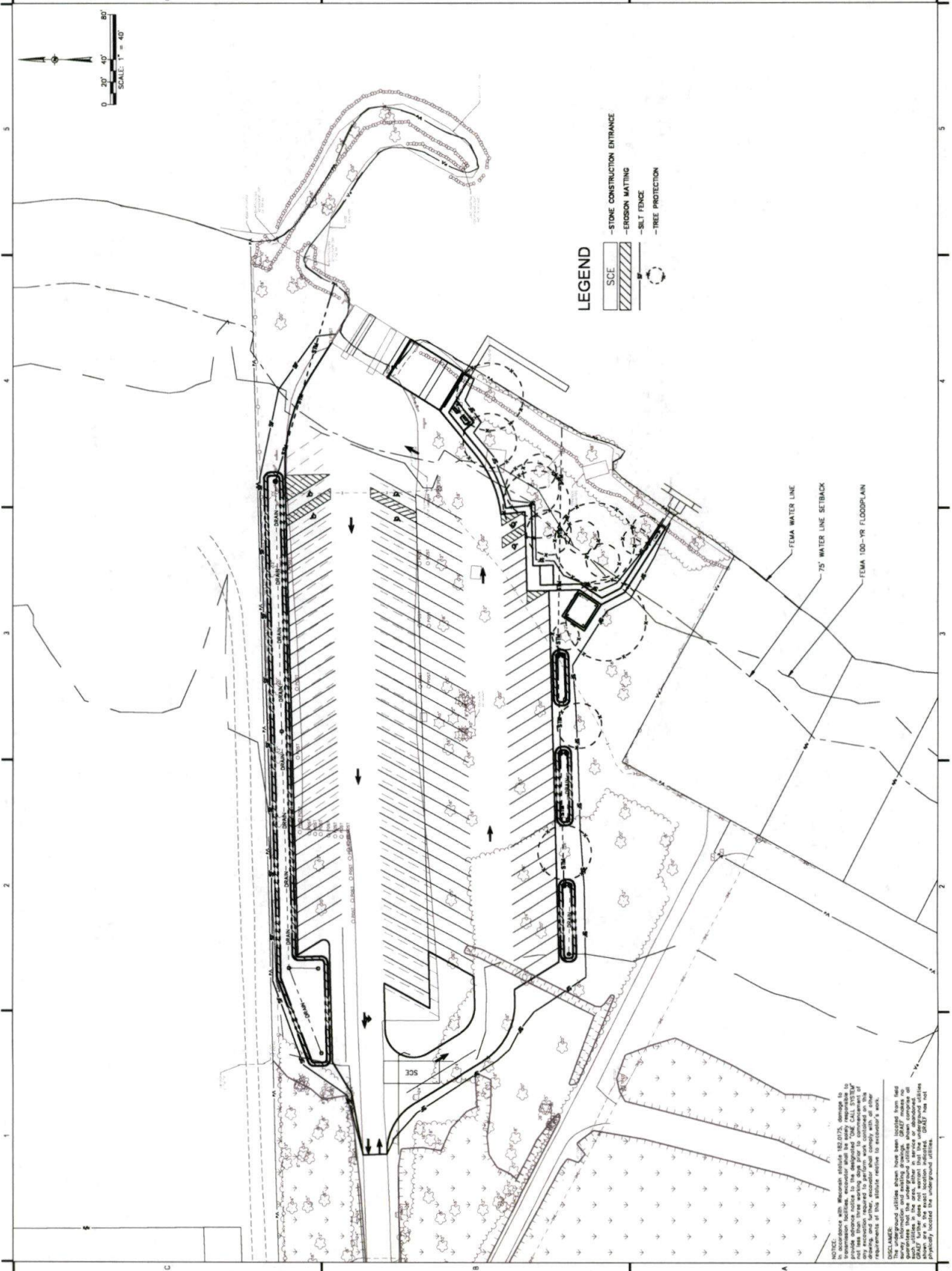


- LEGEND**
- ASPHALT PAVEMENT REMOVAL
 - ASPHALT PAVEMENT FULVIERING
 - CONCRETE PAVEMENT REMOVAL
 - GRAVEL PAVEMENT REMOVAL
 - VEGETATION REMOVAL
 - RETAINING WALL REMOVAL
 - TREE REMOVAL
 - SIGN/POST REMOVAL
 - ELECTRICAL POLE/PEDESTAL REMOVAL



NOTICE: In accordance with Wisconsin Statute § 102.02(7), approval to undertake this work is contingent upon the receipt of a permit from the Wisconsin Department of Transportation (WisDOT) and the Wisconsin Department of Natural Resources (WDNR). The contractor shall be responsible for obtaining all necessary permits and for ensuring that the work complies with all applicable laws, rules, and regulations. The contractor shall also be responsible for protecting the work area and for ensuring that the work is completed in a timely and efficient manner. The contractor shall also be responsible for ensuring that the work is completed in a safe and sound manner. The contractor shall also be responsible for ensuring that the work is completed in a professional and ethical manner. The contractor shall also be responsible for ensuring that the work is completed in a manner that is consistent with the highest standards of the industry. The contractor shall also be responsible for ensuring that the work is completed in a manner that is consistent with the highest standards of the industry. The contractor shall also be responsible for ensuring that the work is completed in a manner that is consistent with the highest standards of the industry.

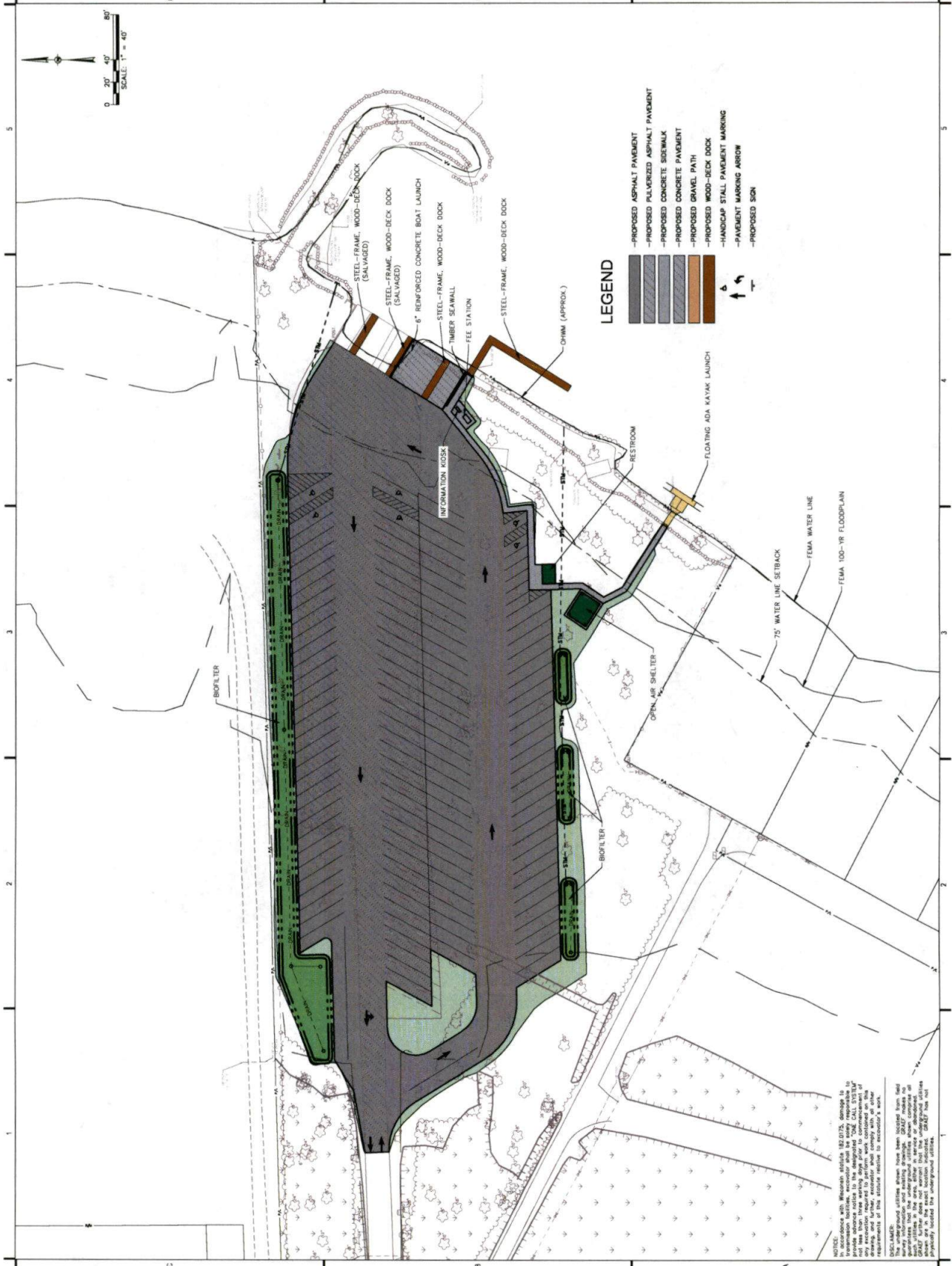
PRELIMINARY - NOT FOR CONSTRUCTION



LEGEND
 SCE
 -STONE CONSTRUCTION ENTRANCE
 -EROSION MATTING
 -SILT FENCE
 -TREE PROTECTION

NOTICE: In accordance with Wisconsin statute, §§ 102.0275, 102.0276, and 102.0277, the undersigned hereby certifies that the undersigned contractor or subcontractor has not been convicted of a crime involving dishonesty, fraud, or breach of trust within the last five years prior to the date of the contract. The undersigned contractor or subcontractor has not been convicted of a crime involving dishonesty, fraud, or breach of trust within the last five years prior to the date of the contract. The undersigned contractor or subcontractor has not been convicted of a crime involving dishonesty, fraud, or breach of trust within the last five years prior to the date of the contract. The undersigned contractor or subcontractor has not been convicted of a crime involving dishonesty, fraud, or breach of trust within the last five years prior to the date of the contract.

PRELIMINARY - NOT FOR CONSTRUCTION



NOTICE: This underground utility plan has been prepared from field data and is not intended to be used as a basis for construction. It is the responsibility of the contractor to verify the location and depth of all underground utilities before construction. The contractor shall be responsible for obtaining all necessary permits and for the safety of all workers and the public. The contractor shall be responsible for the safety of all workers and the public. The contractor shall be responsible for the safety of all workers and the public.



1150 Springhurst Drive,
 Suite 201
 Green Bay, WI 54304-5847
 920 / 582 8440
 920 / 582 8445 fax
 www.graef-usa.com

PROJECT TITLE:
 GRUNDMAN BOAT LAUNCH

1801 GRUNDMAN LANE
 OSHKOSH, WI

NO. DATE REVISIONS BY

PROJECT INFORMATION:

PROJECT NUMBER: 2022-2004-00

DATE: 05-27-2022

DRAWN BY: CEP

CHECKED BY: RPV

APPROVED BY: RPV

SCALE: AS NOTED

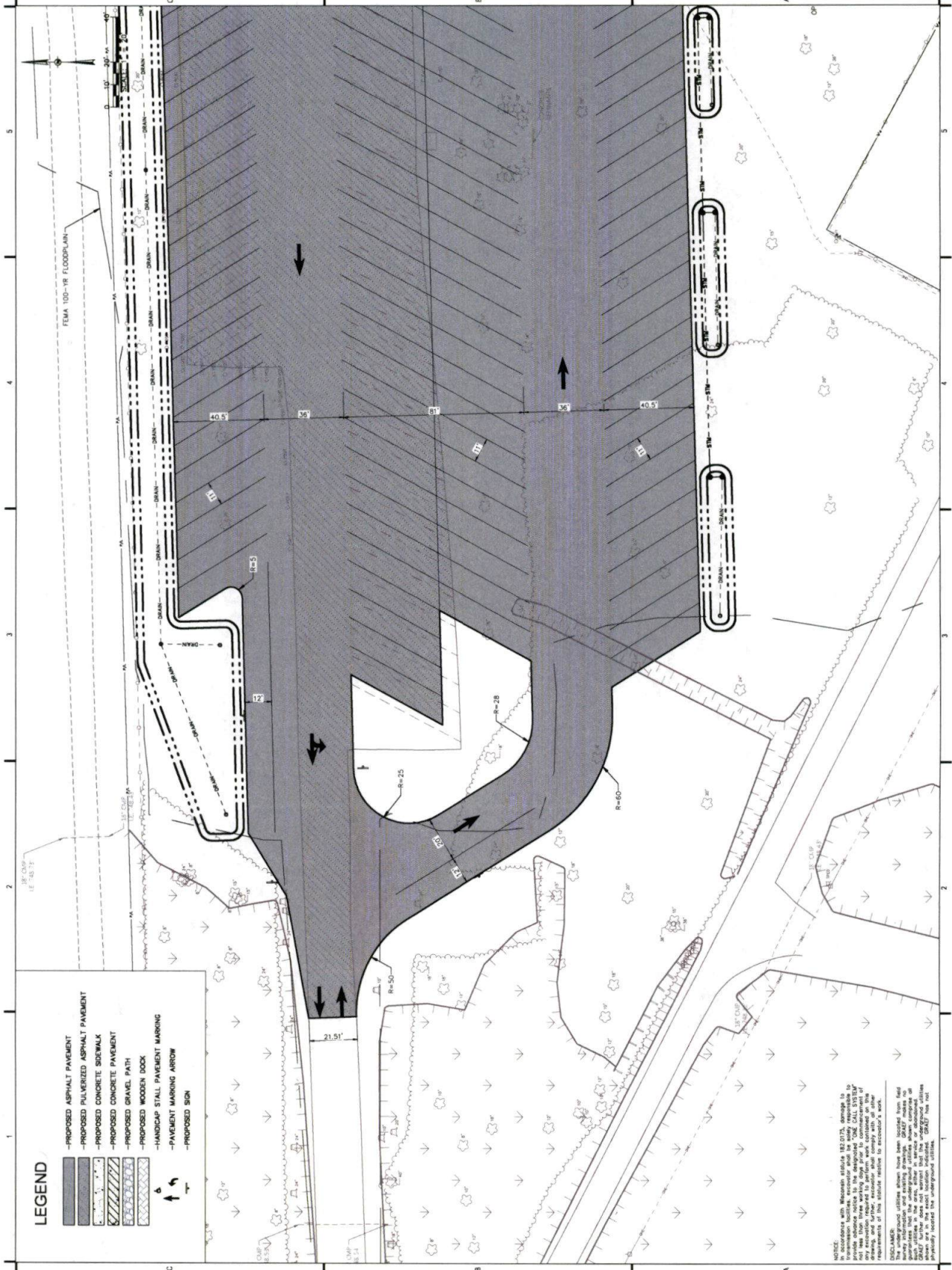
SHEET TITLE:

SITE LAYOUT PLAN - WEST

SHEET NUMBER:

C301

PRELIMINARY - NOT FOR CONSTRUCTION



LEGEND

- PROPOSED ASPHALT PAVEMENT
- PROPOSED PULVERIZED ASPHALT PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE PAVEMENT
- PROPOSED GRAVEL PATH
- PROPOSED WOODEN DOCK
- HANDICAP STALL PAVEMENT MARKING
- PAVEMENT MARKING ARROW
- PROPOSED SIGN

NOTICE: THESE PLANS AND SPECIFICATIONS RELY UPON THE INFORMATION SUBMITTED TO GRAEF BY THE CLIENT AND THE CLIENT'S REPRESENTATIVE. GRAEF MAKES NO WARRANTY, REPRESENTATION OR ASSURANCE AS TO THE ACCURACY, COMPLETENESS, OR SUFFICIENCY OF THE INFORMATION SUBMITTED TO GRAEF BY THE CLIENT AND THE CLIENT'S REPRESENTATIVE. GRAEF SHALL NOT BE RESPONSIBLE FOR ANY ERRORS, OMISSIONS, OR INADEQUACIES IN THE INFORMATION SUBMITTED TO GRAEF BY THE CLIENT AND THE CLIENT'S REPRESENTATIVE. GRAEF SHALL NOT BE RESPONSIBLE FOR ANY ERRORS, OMISSIONS, OR INADEQUACIES IN THE INFORMATION SUBMITTED TO GRAEF BY THE CLIENT AND THE CLIENT'S REPRESENTATIVE. GRAEF SHALL NOT BE RESPONSIBLE FOR ANY ERRORS, OMISSIONS, OR INADEQUACIES IN THE INFORMATION SUBMITTED TO GRAEF BY THE CLIENT AND THE CLIENT'S REPRESENTATIVE.

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DATE: 05-27-2022

DRAWN BY: CEP

CHECKED BY: RPV

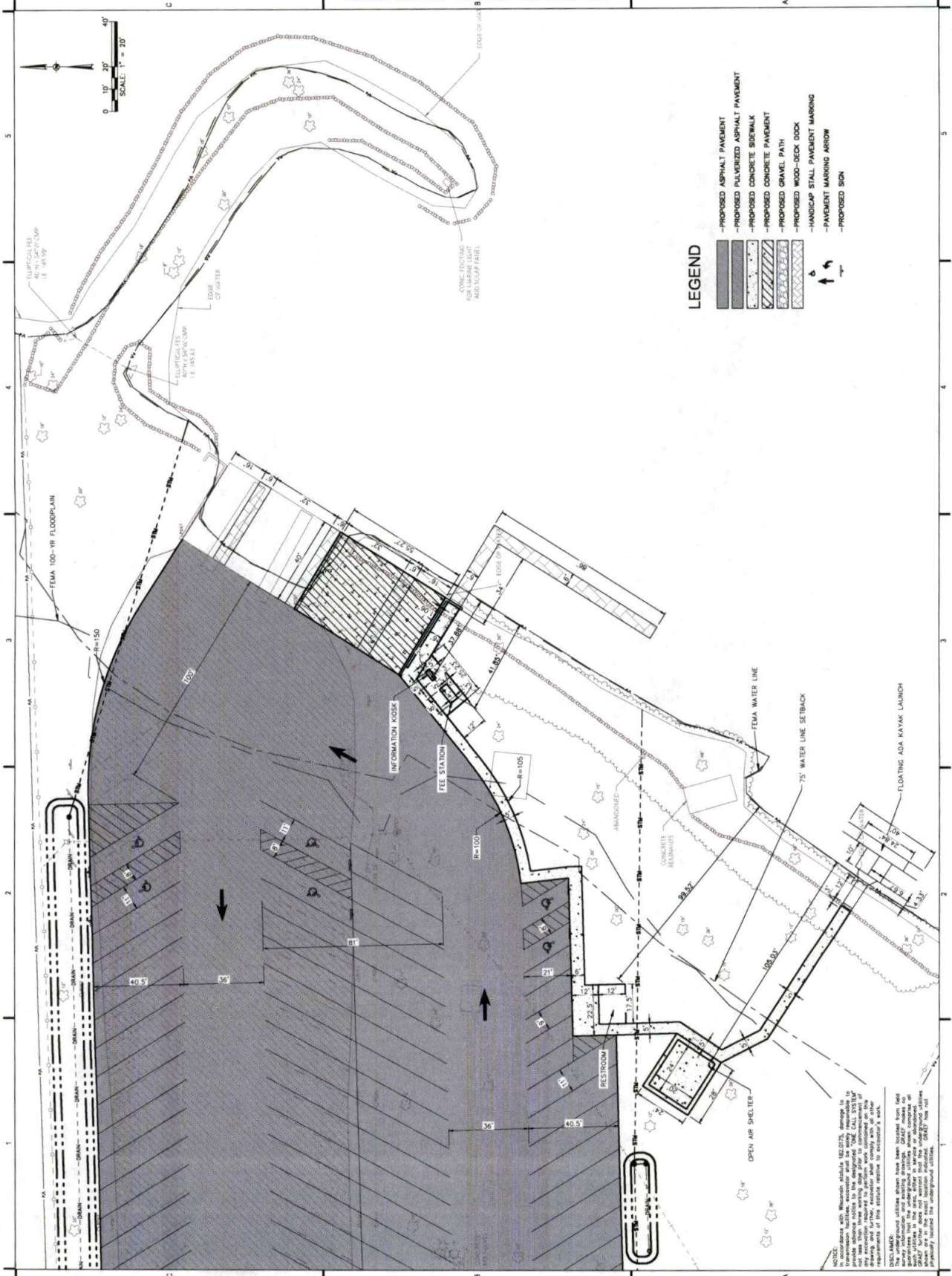
APPROVED BY: RPV

SCALE: AS NOTED

SHEET TITLE
SITE LAYOUT PLAN - EAST

SHEET NUMBER

PRELIMINARY - NOT FOR CONSTRUCTION



LEGEND

- PROPOSED ASPHALT PAVEMENT
- PROPOSED PULVERIZED ASPHALT PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE PAVEMENT
- PROPOSED GRAVEL PATH
- PROPOSED WOOD-DOCK DOCK
- HANDICAP STALL PAVEMENT MARKING
- PAVEMENT MARKING ARROW
- PROPOSED SIGN

NOTICE: This drawing was prepared by the undersigned, a duly licensed Professional Engineer in the State of Wisconsin, and the undersigned hereby certifies that the design, construction, and installation of the work shown on this drawing were done by the undersigned or under the direct supervision and control of the undersigned, and that the undersigned is a duly licensed Professional Engineer in the State of Wisconsin. The undersigned hereby certifies that the design, construction, and installation of the work shown on this drawing were done by the undersigned or under the direct supervision and control of the undersigned, and that the undersigned is a duly licensed Professional Engineer in the State of Wisconsin.

DISCLAIMER: The undersigned does not warrant, represent, or guarantee that the design, construction, and installation of the work shown on this drawing will conform to any applicable laws, codes, or regulations, or that the work will be free from defects or that the undersigned is a duly licensed Professional Engineer in the State of Wisconsin.





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PROJECT TITLE
 GRUNDMAN BOAT LAUNCH

1801 GRUNDMAN LANE
 OSHKOSH, WI

NO. DATE REVISIONS BY

PROJECT INFORMATION

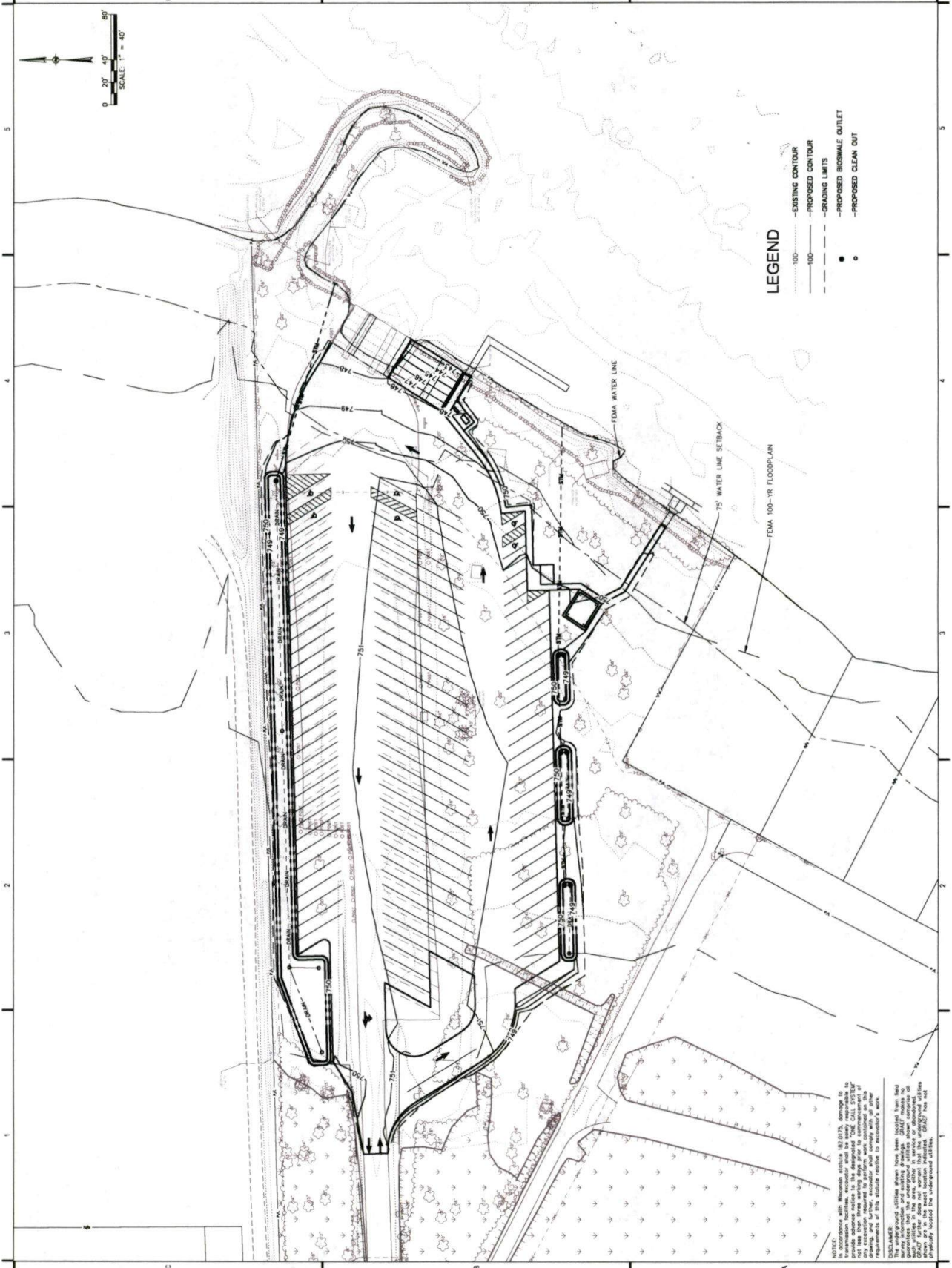
PROJECT NUMBER 2022-2004.00
 DATE 05-27-2022
 DRAWN BY CEP
 CHECKED BY RPV
 APPROVED BY RPV
 SCALE AS NOTED

SHEET TITLE
 OVERALL SITE GRADING PLAN

SHEET NUMBER

C400

PRELIMINARY - NOT FOR CONSTRUCTION



LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- GRADING LIMITS
- PROPOSED BIOMALLE OUTLET
- PROPOSED CLEAN OUT

NOTICE: All drawings with Wisconsin vertical 1802.1275, reference to transmission facilities, excavator work shall be fully responsible to the contractor. The contractor shall be responsible for the accuracy of the field data from the surveying party prior to commencement of construction. The contractor shall be responsible for the accuracy of the drawings and further, excavator work comply with all other requirements of this statute related to excavation work.

This underground utilities shown have been located from field data and are not guaranteed. The contractor shall be responsible for the accuracy of the field data and the contractor shall be responsible for the accuracy of the drawings. GRAEF further does not warrant that the underground utilities shown are correct. GRAEF further does not warrant that the underground utilities shown are correct. GRAEF further does not warrant that the underground utilities shown are correct.



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PROJECT TITLE
GRUNDMAN BOAT LAUNCH

1801 GRUNDMAN LANE
OSHKOSH, WI

NO. DATE REVISIONS BY

PROJECT INFORMATION

PROJECT NUMBER 2022-2004.00

DATE 05-27-2022

DRAWN BY CEP

CHECKED BY RPV

APPROVED BY RPV

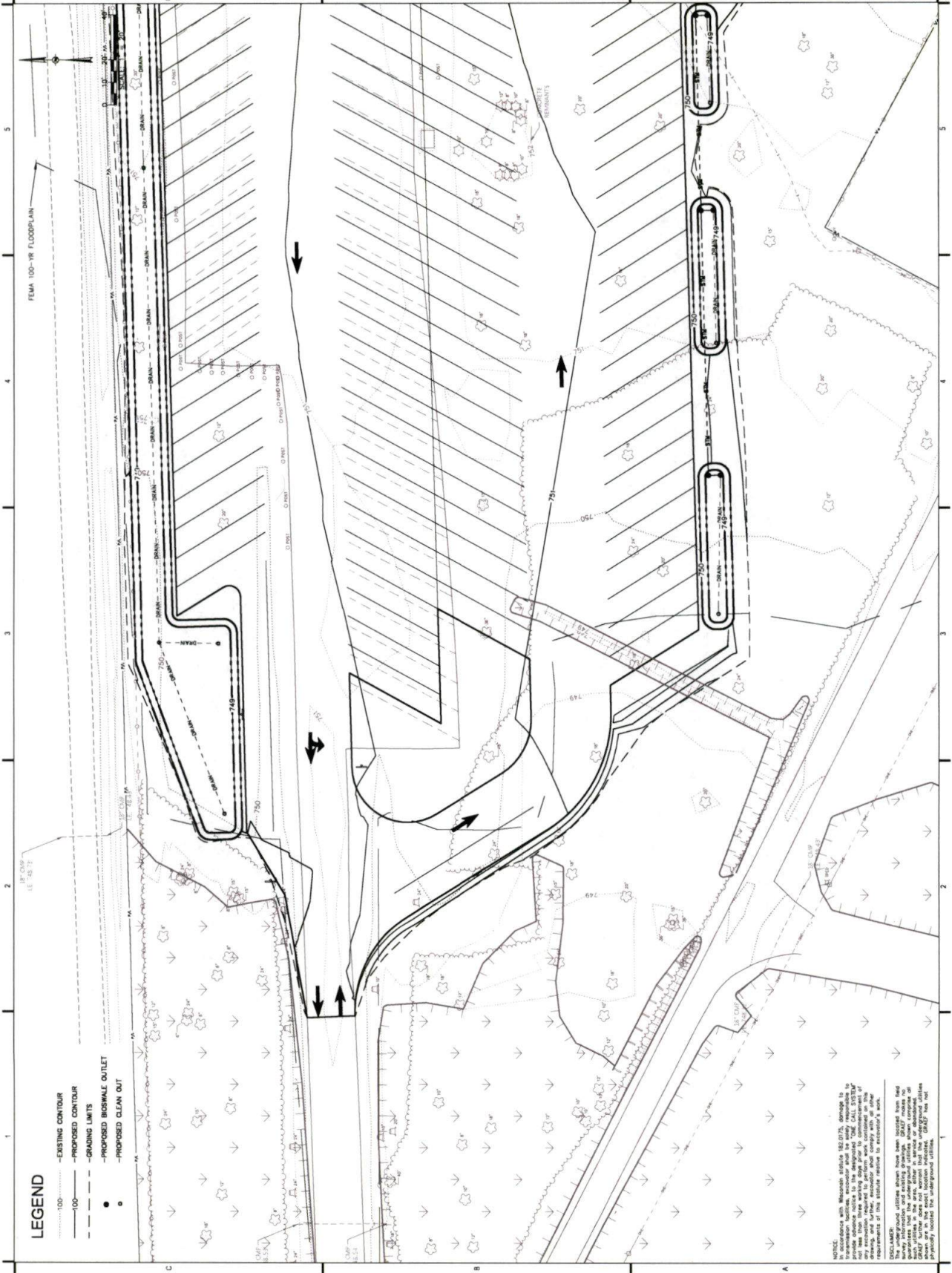
SCALE AS NOTED

SHEET TITLE

SITE GRADING PLAN - WEST

SHEET NUMBER

C401



PRELIMINARY - NOT FOR CONSTRUCTION

NOTICE: This drawing was prepared in accordance with Wisconsin Statute § 102.02(7), except to the extent that the drawing is intended to be used for construction purposes. The user of this drawing shall be responsible for verifying the accuracy of the information shown hereon and for obtaining all necessary permits and approvals. The user of this drawing shall be responsible for obtaining all necessary permits and approvals. The user of this drawing shall be responsible for obtaining all necessary permits and approvals.

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PROJECT TITLE
GRUNDMAN BOAT LAUNCH

1801 GRUNDMAN LANE
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NO. DATE REVISIONS BY

PROJECT INFORMATION:

PROJECT NUMBER: 2022-2004.00

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DRAWN BY: CEP

CHECKED BY: RPV

APPROVED BY: RPV

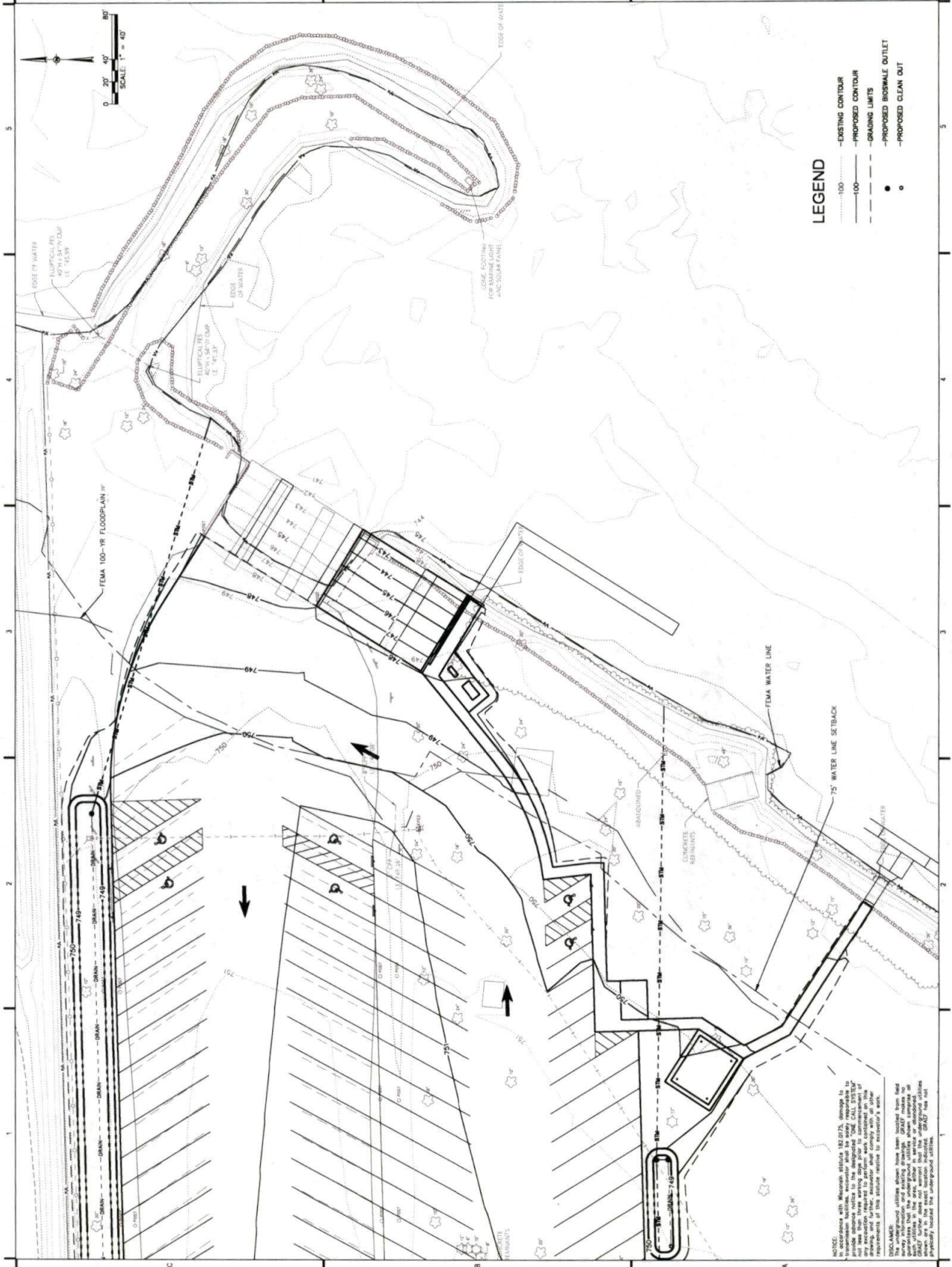
SCALE: AS NOTED

SHEET TITLE
SITE GRADING PLAN - EAST

SHEET NUMBER

C402

PRELIMINARY - NOT FOR CONSTRUCTION



LEGEND

- - - - - EXISTING CONTOUR
- PROPOSED CONTOUR
- - - - - GRADING LIMITS
- • • • • PROPOSED BIOSWALE OUTLET
- ○ ○ ○ ○ PROPOSED CLEAN OUT

NOTICE: This drawing was prepared by GRAEF CONSULTANTS, INC. (GCI), pursuant to a contract with the Wisconsin Department of Transportation. The contractor shall be solely responsible for the accuracy of the field data and for the accuracy of the final construction documents. GRAEF CONSULTANTS, INC. is not responsible for the accuracy of the field data or for the accuracy of the final construction documents. The contractor shall be responsible for the accuracy of the field data and for the accuracy of the final construction documents. The contractor shall be responsible for the accuracy of the field data and for the accuracy of the final construction documents.



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PROJECT TITLE:
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1801 GRUNDMAN LANE
 OSHKOSH, WI

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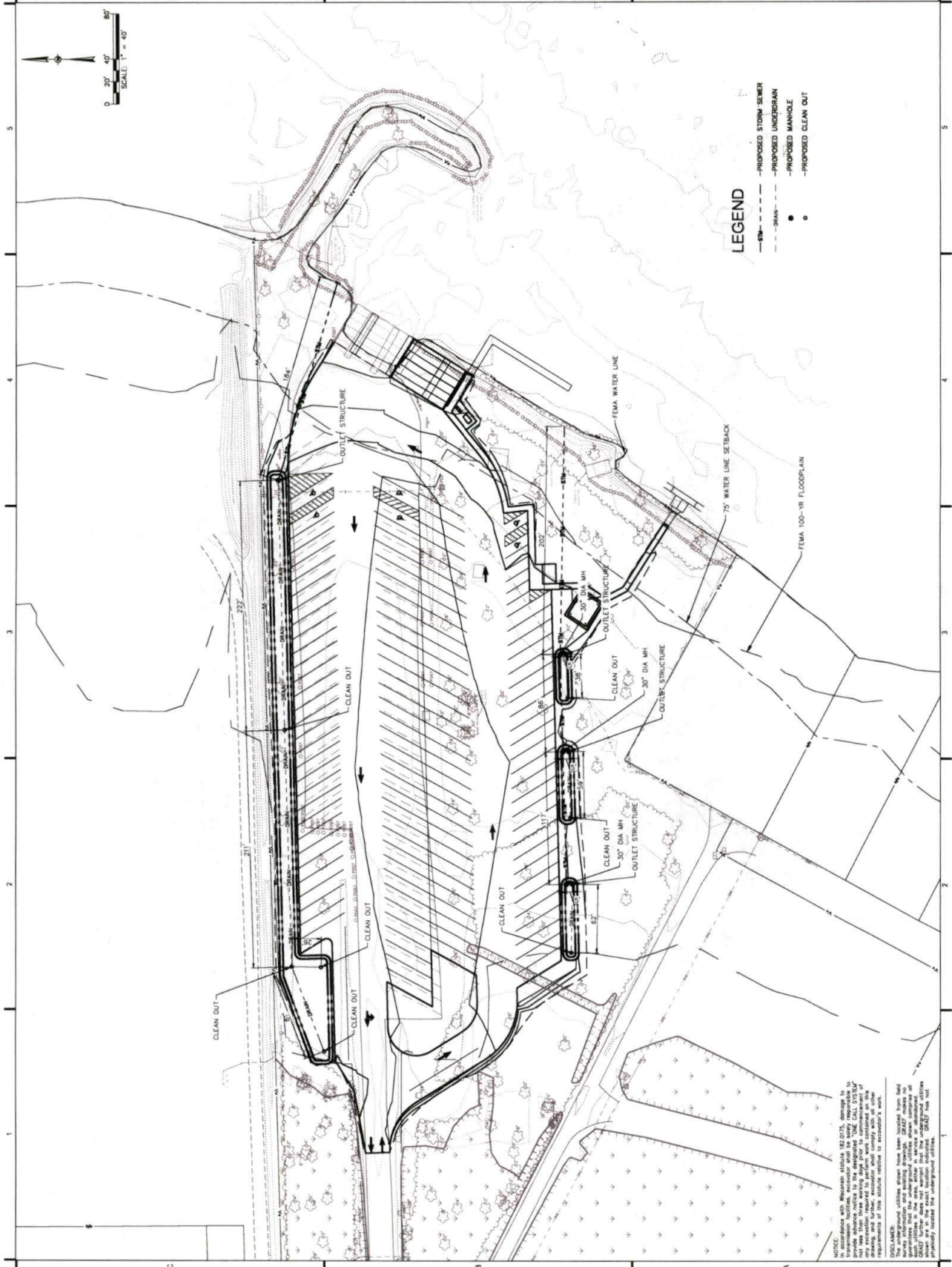
PROJECT INFORMATION:

PROJECT NUMBER: 2022-2004.00
 DATE: 05-27-2022
 DRAWN BY: CEP
 CHECKED BY: RPV
 APPROVED BY: RPV
 SCALE: AS NOTED

SHEET TITLE:
 SITE UTILITIES PLAN

SHEET NUMBER:
 C500

PRELIMINARY - NOT FOR CONSTRUCTION





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EROSION CONTROL NOTES

- CONTRACTOR SHALL EMPLOY EROSION CONTROL METHODS AS SHOWN AND SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSTRUCTION SITE TECHNICAL STANDARDS AND THE WISDOT EROSION CONTROL PRODUCT ACCEPTABILITY LISTS (PAL).
- ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
- ALL EROSION CONTROL MEASURES SHALL BE DESIGNED FOR STABILITY AND PERFORMANCE AFTER A MAXIMUM OF 60% INCREASE OR MORE, BUT NOT LESS THAN FIVE PERCENT, IN WEATHER. ANY REQUIRED REPAIRS WILL BE MADE IMMEDIATELY. WRITTEN REPORTS WILL BE KEPT AT ALL EROSION AND SEDIMENT CONTROL INSPECTIONS AS REQUIRED BY THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDR).
- SEEDING SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS. SEED FENCE SHALL BE INSTALLED PER DETAILS ON SHEET C601 - SEDIMENT DEPOSITS WILL BE REMOVED AS NECESSARY TO MAINTAIN A BARRIER TO EROSION CONTROL MEASURES. SEEDING SHALL BE INSTALLED TO A DEPTH OF 8 INCHES. SEED FENCE WILL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER TO EROSION CONTROL MEASURES. SEEDING SHALL BE INSTALLED TO A DEPTH OF 8 INCHES. SEEDING MAY OCCUR ANYTIME SO LONG AS AVAILABLE AND SOIL IS NOT FROZEN. SEEDING SHALL BE INSTALLED TO A DEPTH OF 8 INCHES. SEEDING SHALL BE INSTALLED TO A DEPTH OF 8 INCHES. SEEDING SHALL BE INSTALLED TO A DEPTH OF 8 INCHES. SEEDING SHALL BE INSTALLED TO A DEPTH OF 8 INCHES.
- EROSION CONTROL MEASURES MUST BE IN PLACE AT THE END OF EACH WORK DAY.
- ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH DAY. FLUSHING SHALL NOT BE ALLOWED.
- CONTRACTOR SHALL MAINTAIN A LOG OF THE EROSION CONTROL INSPECTIONS. REPAIRS MADE AND BANK DEVICES, THIS MUST BE MADE AVAILABLE TO DEPARTMENT OF NATURAL RESOURCES PERSONNEL UPON REQUEST AND MUST REMAIN ON THE PROJECT SITE AT ALL TIMES WORK IS BEING PERFORMED.

GENERAL NOTES

- EXISTING CONDITIONS FOR THIS PLAN ARE BASED ON SURVEY BY GRANT, USA DATED 1/22/2022. ANY CHANGES TO THE SURVEY SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR LOCATION AND DEPTH.
- CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE DESIGNATED ONE CALL SYSTEM NOT LESS THAN THREE WORKING DAYS PRIOR TO ANY EXCAVATION WORK. CONTRACTOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATE REGARDING TO CONTRACTOR'S WORK.
- CONTRACTOR SHALL COMPLY WITH ALL PRESENT PROVISIONS OF THE "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" ISSUED BY THE U.S. DEPARTMENT OF LABOR.
- CONTRACTOR SHALL PROTECT ALL UTILITIES AND SITE IMPROVEMENTS TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES OR SITE IMPROVEMENTS AT THE CONTRACTOR'S EXCLUSION. CONTRACTOR TO THE OWNERS SPECIFICATIONS AT THE CONTRACTOR'S EXPENSE.
- IN THE EVENT OF ANY DISCREPANCIES AND/OR ERRORS FOUND IN THE DRAWINGS OR IF PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL CONSULT WITH THE STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION AND ALL SUPPLEMENTALS.
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- CONTRACTOR SHALL COMPLY WITH ALL PRESENT PROVISIONS OF THE "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" ISSUED BY THE U.S. DEPARTMENT OF LABOR.

DEMOLITION NOTES

- ASPHALT AND CONCRETE PAVEMENT NOTED FOR REMOVAL SHALL BE SAW CUT TO FULL DEPTH PRIOR TO REMOVAL.
- REMOVAL DIMENSIONS SHALL CORRESPOND TO THE PROPOSED WORK INDICATED ON THE SITE PLAN AND OTHER SITE/CIVIL PLAN SHEETS.
- ALL REMOVALS OR OTHER WORK WITHIN PUBLIC RIGHT-OF-WAY MUST BE COORDINATED WITH WINNEBAGO COUNTY PRIOR TO BEGINNING WORK.

LAYOUT NOTES

- ALL DIMENSIONS SHOWN ARE TO DECIMAL FEET AND MEASURED FROM FACE OF CURB OR EDGE OF PAVEMENT, UNLESS SPECIFIED OTHERWISE. PRIOR TO START OF ANY CONSTRUCTION, CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE.
- RADIUS DIMENSIONS NOT NOTED SHALL BE 3 FEET.
- ALL WORK DONE WITHIN THE RIGHT OF WAY SHALL BE DONE PER WINNEBAGO COUNTY STANDARDS.
- A CAD DRAWING WILL BE PROVIDED TO CONTRACTOR FOR COMPLETE LAYOUT OF SITE ELEMENTS.

GRADING NOTES

- THIS PLAN SHOWS ALL CONTIGUOUS FINISHED GRADES FOR EXISTING GRADES OF ALL PAVED AREAS AND UNPAVED AREAS.
- WHEN SPOT ELEVATIONS SHOWN REFER TO CRITICAL POINTS SUCH AS PAVEMENT ANGLE POINTS AND CURB-TANGENT INTERSECTIONS, THEIR LOCATION WILL CORRESPOND WITH COORDINATES SHOWN.

LEGEND

- ▲ TRANSFORM POINT
- ⊕ POWER POLE
- ⊕ TELEPHONE FOOTSTAL
- ⊕ LIGHT POLE
- WELL
- ⊕ MAIL BOX
- ⊕ SIGN
- ROLLARD
- DECIDUOUS TREE
- CONIFEROUS TREE
- ⊕ STUMP
- OVERHEAD ELECTRIC LINE
- - - UNDERGROUND ELECTRIC LINE
- CHAIN-LINK FENCE
- - - WOOD FENCE
- ⊕ RP AP

PROJECT TITLE
GRUNDMAN BOAT LAUNCH

1801 GRUNDMAN LAKE
OSHKOSH, WI

NO. DATE REVISIONS BY

PROJECT INFORMATION
PROJECT NUMBER 2022-2004.00
DATE 05-27-2022
DRAWN BY CEP
CHECKED BY RPV
APPROVED BY
SCALE AS NOTED

SHEET TITLE
CONSTRUCTION NOTES

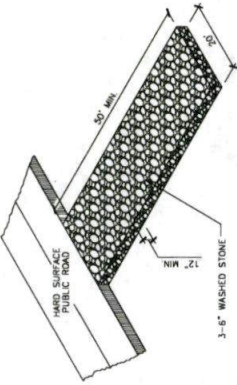
SHEET NUMBER

C600

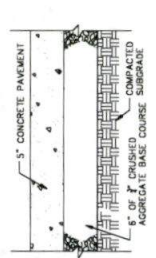
PRELIMINARY - NOT FOR CONSTRUCTION



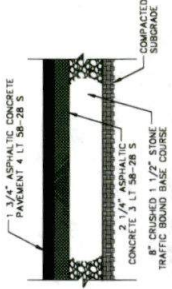
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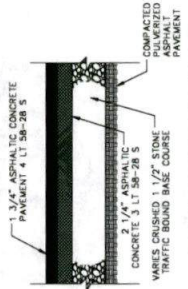
2 STONE CONSTRUCTION ENTRANCE
SCALE



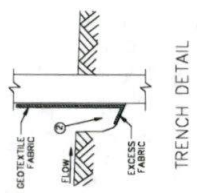
3 CONCRETE SIDEWALK
SCALE



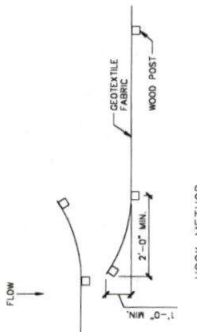
6 TYPICAL ASPHALT PAVEMENT SECTION
SCALE



7 PULVERIZED ASPHALT PAVEMENT SECTION
SCALE

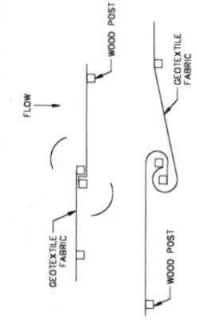


TRENCH DETAIL

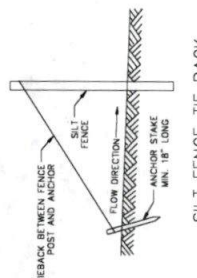


HOOK METHOD

JOINING TWO LENGTHS OF SILT FENCE

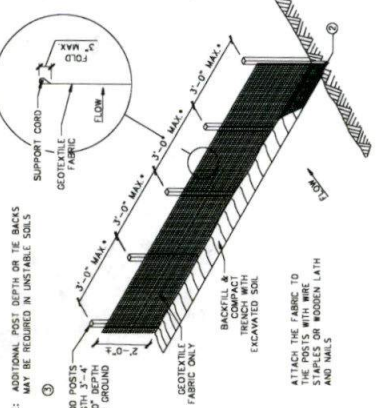


TWIST METHOD



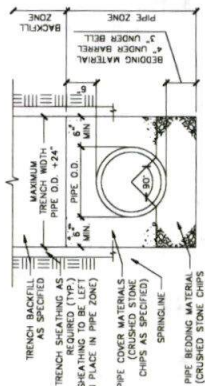
SILT FENCE TIE BACK
(WHEN ADDITIONAL SUPPORT REQUIRED)

- 4 SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
- 5 CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: A) OVERLAP THE END POSTS AND TWIST, OR B) AT LEAST TWO OVERLAPS, B) HOOK THE END OF EACH SILT FENCE LENGTH.



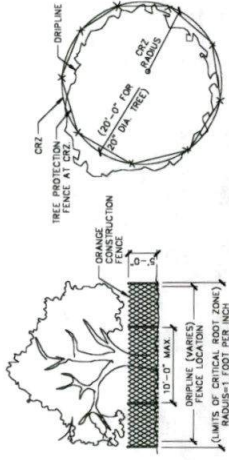
* NOTE: 8\"/>

1 SILT FENCE
SCALE



NOTE: 3\"/>

4 CLASS "C" BEDDING DETAIL FOR STORM SEWER
SCALE



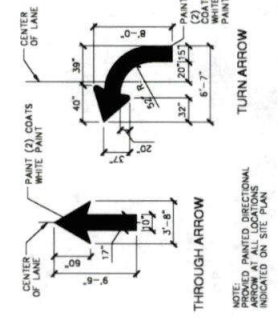
TREE PROTECTION FENCE - ORANGE CONSTRUCTION FENCE

1. ALL TREES SHOWN TO BE RETAINED WITHIN THE LIMITS OF CONSTRUCTION ON THE PLANS, SHALL BE PROTECTED DURING CONSTRUCTION WITH FENCING.
2. TREE PROTECTION FENCES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY SITE PREPARATION WORK (CLEARING, GRUBBING, EROSION AND SEDIMENTATION CONTROL BARRIERS SHALL BE INSTALLED OR MAINTAINED IN A MANNER WHICH DOES NOT RESULT IN SOIL BUILD-UP WITHIN TREE DRIPLINES).
3. PROTECTIVE FENCES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
4. PROTECTIVE FENCES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
5. PROTECTIVE FENCES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
6. PROTECTIVE FENCES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
7. PROTECTIVE FENCES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
8. PRUNING TO PROVIDE CLEARANCE FOR STRUCTURES, VEHICULAR TRAFFIC, AND CONSTRUCTION EQUIPMENT SHALL TAKE PLACE BEFORE CONSTRUCTION OF THE STRUCTURE.
9. PRUNING SHALL BE DONE AS OUTLINED IN LITERATURE PROVIDED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA PRUNING TECHNIQUES).

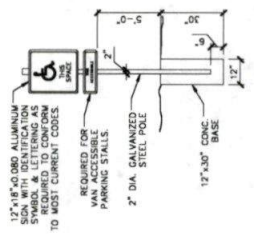
5 TREE PROTECTION DETAIL
SCALE

NOTES:
1. The underground utilities shown have been located from field investigation and are shown as approximate locations. The contractor shall verify the location and depth of all utilities before construction. If any utility is located within the proposed construction area, the contractor shall adjust the construction accordingly. The contractor shall be responsible for obtaining all necessary permits and for the installation of any required utility markers.
2. The underground utilities shown have been located from field investigation and are shown as approximate locations. The contractor shall verify the location and depth of all utilities before construction. If any utility is located within the proposed construction area, the contractor shall adjust the construction accordingly. The contractor shall be responsible for obtaining all necessary permits and for the installation of any required utility markers.

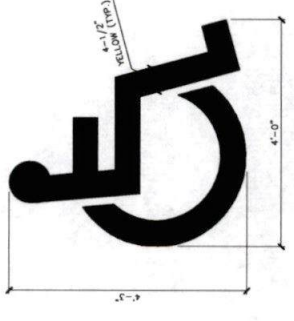
PRELIMINARY - NOT FOR CONSTRUCTION



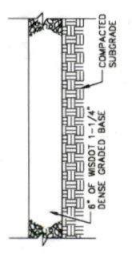
NOTED: PAINTED DIRECTIONAL ARROW AT ALL LOCATIONS INDICATED ON SITE PLAN



3 WHEELCHAIR ACCESSIBLE SIGN SCALE N.T.S.

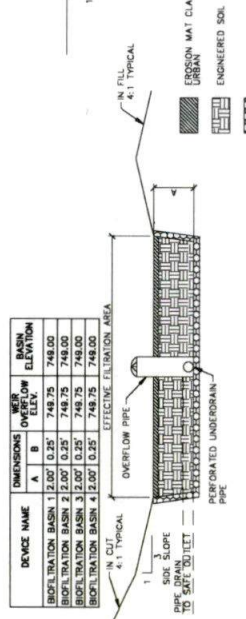


2 PAVEMENT MARKING HANDICAP SYMBOL SCALE N.T.S.



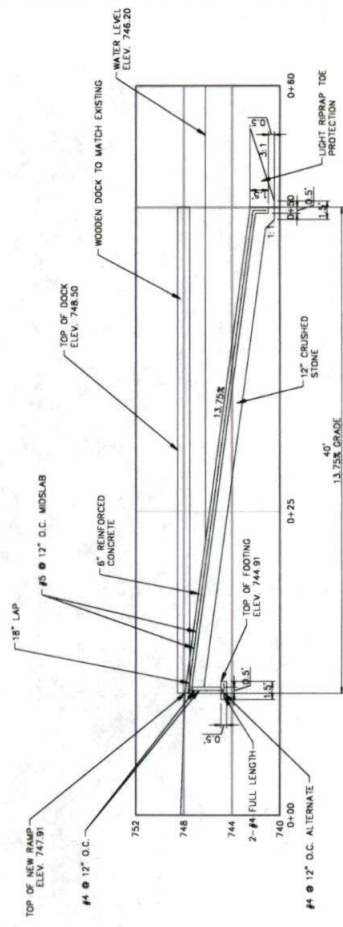
1 GRAVEL PAVEMENT SCALE N.T.S.

DEVICE NAME	DIMENSIONS		OVERFLOW ELEV.	BASIN ELEVATION
	A	B		
BIOFILTRATION BASIN 1	2.00'	0.25'	748.75	748.00
BIOFILTRATION BASIN 2	2.00'	0.25'	748.75	748.00
BIOFILTRATION BASIN 3	2.00'	0.25'	748.75	748.00
BIOFILTRATION BASIN 4	2.00'	0.25'	748.75	748.00



5 CROSS SECTION ACROSS WIDTH OF DEVICE SCALE N.T.S.

6 CROSS SECTION ACROSS LENGTH OF DEVICE SCALE N.T.S.



6 BOAT LAUNCH SECTION SCALE N.T.S.

NOTES:
 1. In accordance with Wisconsin statute 182.0172, drainage to the water body shall be provided by a stormwater management system that provides adequate storage to the designated "LOW CALL SYSTEM" and has been designed to allow for a minimum of 24 hours of storage, and that the storage area complies with all other applicable rules and regulations.
 2. The underground utilities shown have been located from field data and are shown for informational purposes only. The contractor shall verify the location and depth of all underground utilities before construction. The contractor shall be responsible for any damage to underground utilities.
 3. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
 4. The contractor shall be responsible for maintaining access to all existing and proposed utilities.
 5. The contractor shall be responsible for maintaining access to all existing and proposed utilities.
 6. The contractor shall be responsible for maintaining access to all existing and proposed utilities.
 7. The contractor shall be responsible for maintaining access to all existing and proposed utilities.
 8. The contractor shall be responsible for maintaining access to all existing and proposed utilities.
 9. The contractor shall be responsible for maintaining access to all existing and proposed utilities.
 10. The contractor shall be responsible for maintaining access to all existing and proposed utilities.



1150 Springhurst Drive,
Suite 201
Green Bay, WI 54304-5947
920 / 592 9440
920 / 592 9445 fax
www.graef-usa.com

PROJECT TITLE
GRUNDMAN BOAT LAUNCH

1801 GRUNDMAN LANE
OSHKOSH, WI

NO. DATE REVISIONS BY

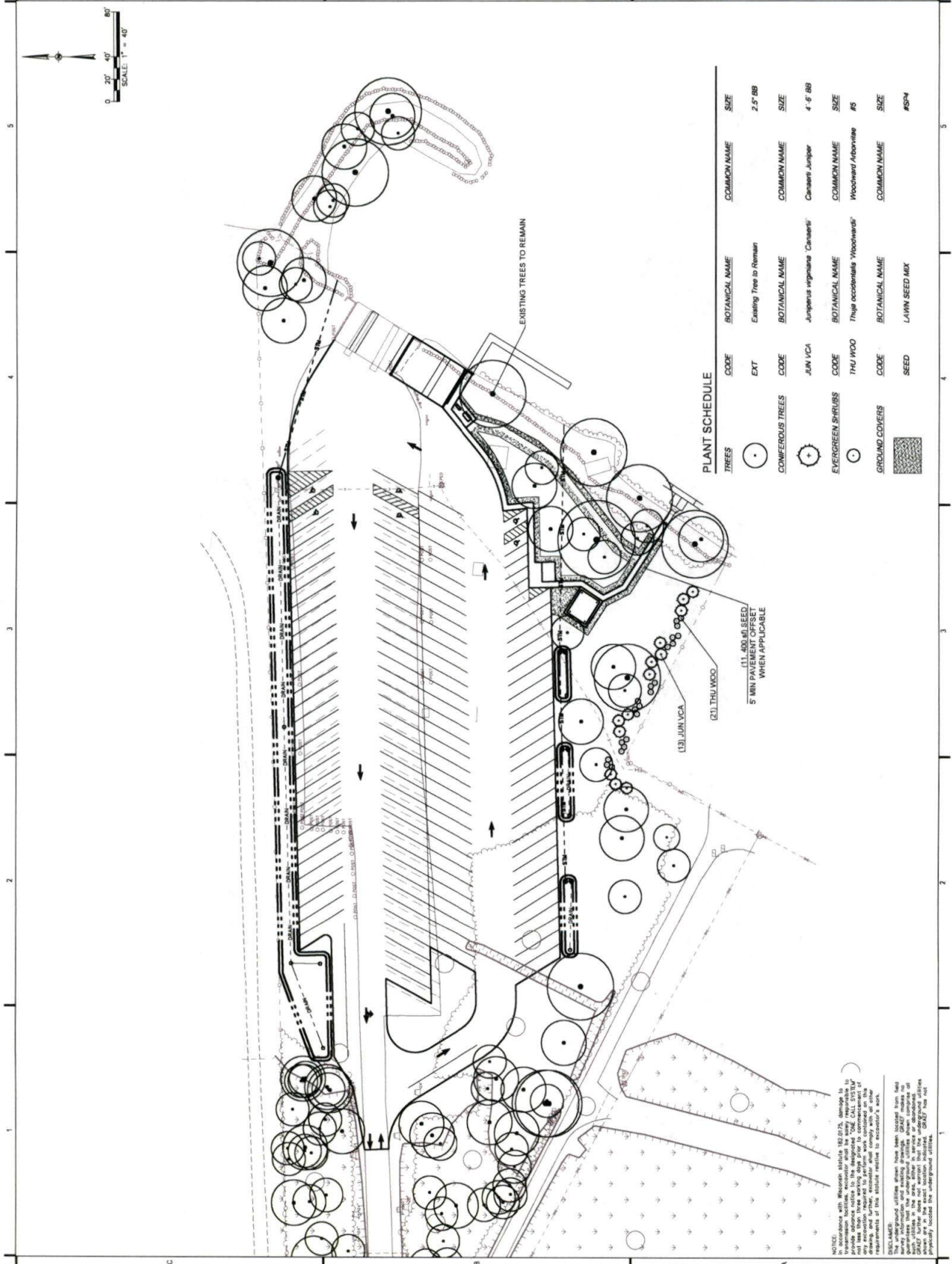
PRELIMINARY - NOT FOR CONSTRUCTION

PROJECT INFORMATION

PROJECT NUMBER: 2022-2004.00
DATE: 05-27-2022
DRAWN BY: CEP
CHECKED BY: RPV
APPROVED BY: RPV
SCALE: AS NOTED

SHEET TITLE
LANDSCAPE PLAN

SHEET NUMBER
L100



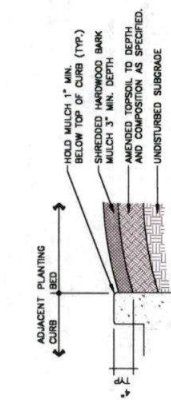
PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE
CONIFEROUS TREES	EXT	Existing Tree to Remain		2.5' BB
EVERGREEN TREES	JUN VCA	<i>Juniperus virginiana</i>	Canoeer Juniper	4-6' BB
EVERGREEN SHRUBS	THU WOO	<i>Thuja occidentalis</i>	Woodward Arborvitae	#5
GROUND COVERS	SEED	LAWN SEED MIX		#S4

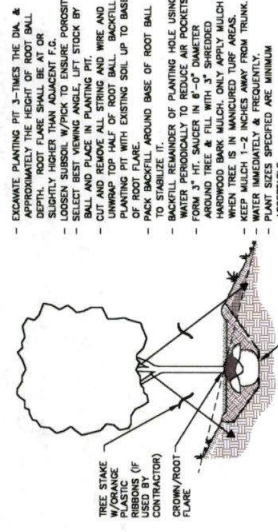
NOTICE: This landscape plan was prepared by GRAEF, INC. in accordance with the Wisconsin Statutes, Chapter TRANS 100. The client is responsible for obtaining all necessary permits and approvals from the appropriate authorities. GRAEF, INC. does not warrant that the information provided in this plan is complete or accurate. The client is responsible for verifying the accuracy of the information provided in this plan. GRAEF, INC. is not responsible for any errors or omissions in this plan. GRAEF, INC. is not responsible for any damage to property or persons resulting from the use of this plan. GRAEF, INC. is not responsible for any damage to property or persons resulting from the use of this plan.

LANDSCAPING NOTES:

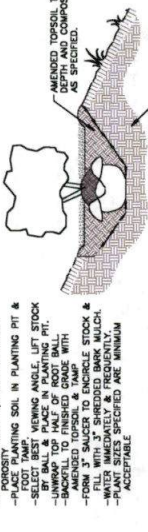
1. VERIFY EXISTING AND PROPOSED CONDITIONS, UTILITIES, PIPES, AND STRUCTURES, ETC. PRIOR TO BIDDING AND CONSTRUCTION.
2. INSPECT THE SITE PRIOR TO COMMENCING WORK. DOCUMENT IN WRITING AND PHOTOGRAPH EXISTING CONDITIONS WITHIN, AND IN AREAS ADJACENT TO, THE LIMITS OF CONSTRUCTION. PROVIDE DIGITAL PHOTOS AND VIDEO TO THE CLIENT. THE LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR ANY DAMAGES NOT DOCUMENTED IN THE SUBMITTAL PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES.
3. REFER TO GEOTECHNICAL REPORT, IF ONE EXISTS, FOR INFILTRATION RATES AND SOIL TYPES / CONDITIONS.
4. SEE WRITTEN SPECIFICATIONS AND DETAILS FOR PLANTING METHODS, REQUIREMENTS, MATERIALS, EXECUTION AND PLANT PROTECTION. PLANT STAKING METHODS, PLANT PIT DIMENSIONS, BACKFILL AND OTHER RELATED REQUIREMENTS.
5. PLANT PLACEMENT IS REQUIRED AS SHOWN ON THE LAYOUT, PLANTING, AND OTHER DRAWINGS.
6. PLANT NAMES ARE ABBREVIATED ON THE DRAWINGS. SEE PLANT LIST FOR SYMBOLS, COMMON NAMES, BOTANICAL/Common NAMES, SIZES, ESTIMATED QUANTITIES (IF GIVEN) AND OTHER REMARKS.
7. WHERE PROVIDED, AREA TAKEOFFS AND PLANT QUANTITY ESTIMATES ARE FOR INFORMATION ONLY. MATERIALS AND SIZES SHOWN ON PLANS, PLANT SYMBOLS, INDICATED ON THE PLAN TAKE PRECEDENCE IN CASE OF DISCREPANCIES BETWEEN CALLOUTS AND THE PLANT LIST.
8. MAINTAIN AND WARRANT PLANT MATERIALS AS DESCRIBED IN WRITTEN SPECIFICATIONS.
9. PLANT BEDS AND TREE PLANTING PITS ARE TO RECEIVE 3" DEEP LAYER OF SHREDDED HARDWOOD BARK MULCH PER WRITTEN SPECIFICATIONS AND DETAILS.
10. FORM 72-INCH, OR AS OTHERWISE INDICATED, WATERING BASIN AROUND TREES WHEN THEY ARE INSTALLED IN MANICURED TURF AREAS. SEE PLANTING DETAILS.
11. FINE GRADE, BAKE, AND ENSURE POSITIVE DRAINAGE AWAY FROM STRUCTURES AND THROUGHOUT SITE WITHIN THE LIMITS OF CONSTRUCTION, WITH ACCURATELY SET FLOW LINES, LOW SPOTS OR POLES, AND UNDESIRABLE VEGETATION. FINAL GRADE TOLERANCES ARE +/- 0.1 FOOT MAXIMUM.
12. COORDINATE THE INSTALLATION OF PLANT MATERIAL WITH INSTALLATION OF ADJACENT PAVEMENTS, DRIVEWAYS, CURB AND RELATED STRUCTURES WITH OTHER TRADES.
13. RESTORE AREAS OF THE SITE OR ADJACENT CONDITIONS, WHERE DISTURBED DAMAGE CAUSED DURING CONSTRUCTION, TO EXISTING CONDITIONS. THE LANDSCAPE ARCHITECT'S RESPONSIBILITY IS TO PROVIDE WRITTEN SPECIFICATIONS TO ESTABLISH PLANT MATERIAL AND PRESENT REPLACEMENT.
14. ALL PLANT BED AREAS SHALL BE PREPARED AS DESCRIBED IN WRITTEN SPECIFICATIONS. PROVIDE WRITTEN SPECIFICATIONS TO ESTABLISH PLANT MATERIAL AND PRESENT REPLACEMENT.
15. PROVIDE (2) FERTILIZATION SCHEDULING AND OTHER PRECAUTIONS TO AVOID WINTER, CLIMATIC, OR OTHER DAMAGE TO PLANTS.
16. TAKE NECESSARY SCHEDULING AND OTHER PRECAUTIONS TO AVOID WINTER, CLIMATIC, OR OTHER DAMAGE TO PLANTS.
17. PLANTING BEDS ARE TO BE SEPARATED FROM ADJACENT TURF AREAS WITH ALUMINUM EDGING PER WRITTEN SPECIFICATIONS. INSTALL AT LOCATIONS INDICATED ON DRAWINGS AND PER LANDSCAPE DETAILS.
18. CONTRACTOR SHALL DETERMINE THE NEED FOR TREE STAKING IF DETERMINED NECESSARY. PROVIDE TREE STAKING AS DESCRIBED IN WRITTEN SPECIFICATIONS.
19. PROVIDE WARRANTY OF PLANT MATERIALS AS DESCRIBED IN WRITTEN SPECIFICATIONS.
20. DECORATIVE STONE MULCH: "MISSISSIPPI, MEDIUM SIZE" AS PRODUCED BY HALQUIST STONE COMPANY (OR APPROVED EQUAL), 3" THICK CONTACT JOSH KAYSAR @ 282-248-9000.
21. PLANT SUBSTITUTIONS WILL NOT BE PERMITTED UNLESS THE LANDSCAPE CONTRACTOR CAN DEMONSTRATE THE PLANTS ARE NOT AVAILABLE FROM NURSERY SOURCES LOCATED WITHIN 100 MILES OF THE PROJECT SITE. ANY PLANT SUBSTITUTIONS WILL REQUIRE PRIOR REVIEW AND WRITTEN ACCEPTANCE BY THE LANDSCAPE ARCHITECT.
22. CONTRACTOR SHALL CONTACT CITY FORESTRY AT LEAST ONE WEEK PRIOR TO PLANTING TO OBTAIN SPECIFICATIONS OF NURSERY STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.
23. ROOT TREATMENT OF EXISTING TREES TO BE COMPLETED BY CERTIFIED ARBORIST.



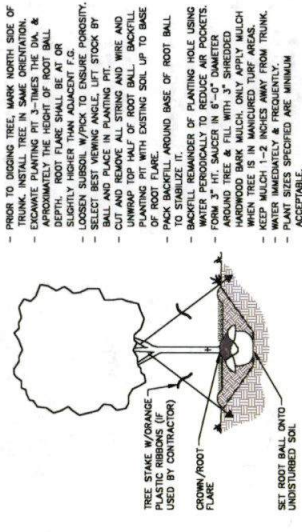
5 PLANT BED EDGE AT CURB



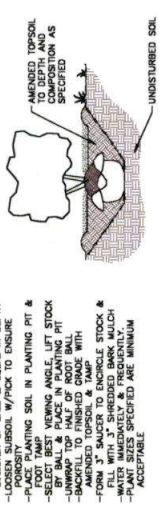
6 TREE PLANTING ON SLOPE DETAIL



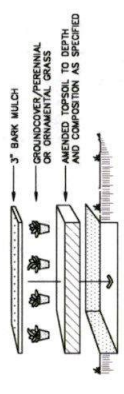
7 SHRUB PLANTING ON SLOPE DETAIL



1 TREE PLANTING DETAIL



2 SHRUB PLANTING DETAIL



3 GROUND COVER / ORNAMENTAL GRASS / PERENNIAL PLANTING DETAIL

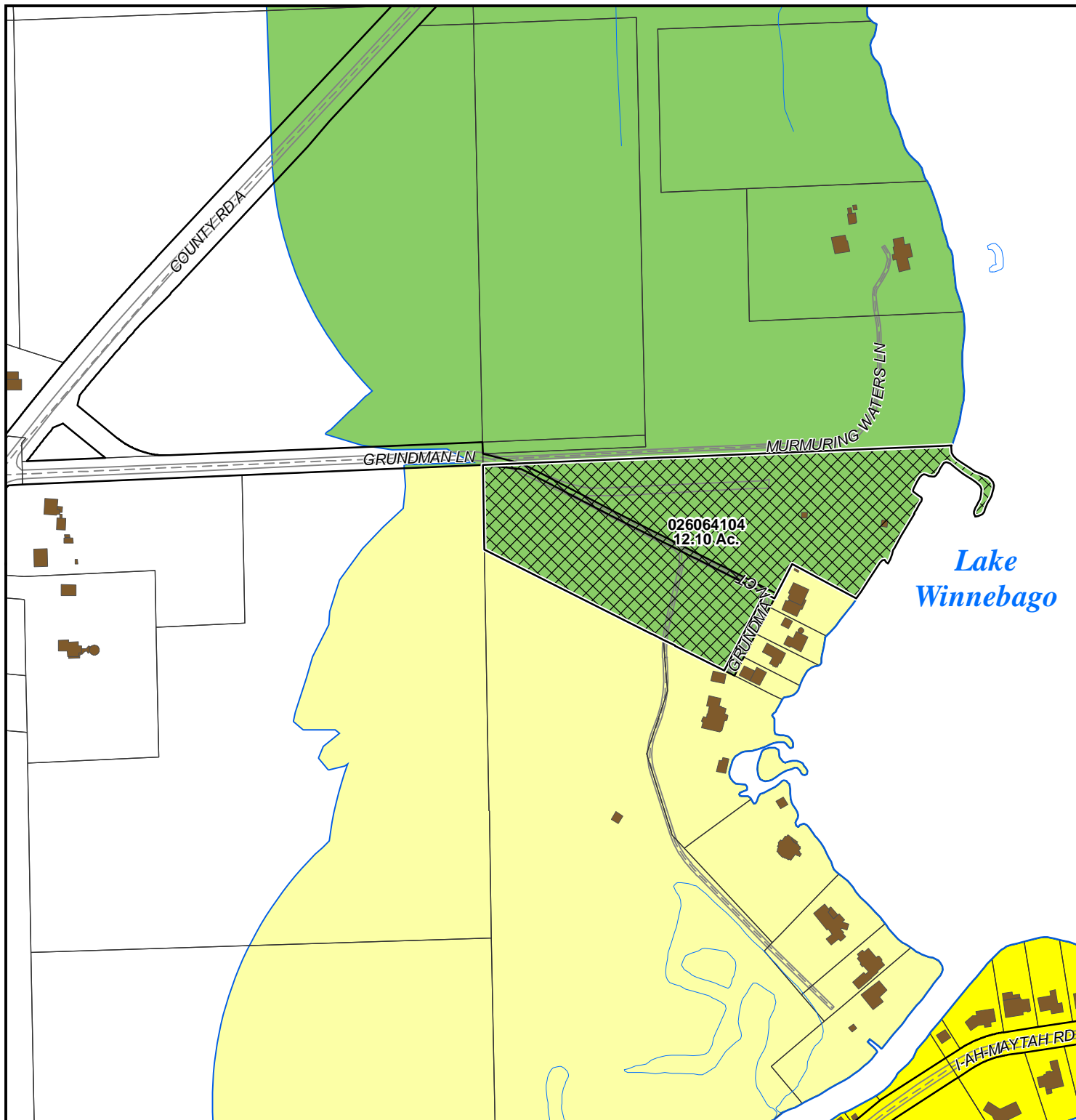
LAYOUT PLANT MATERIAL AT SPACING AS SHOWN PER PLANT MATERIALS SCHEDULE
HAND BROADCAST UNIFORM 3" HARDWOOD MULCH THROUGHOUT GROUNDER /
FLOOD IMMEDIATELY WITH MULCH. REFER TO WRITTEN SPECIFICATIONS
PLANT SIZES SPECIFIED ARE MINIMUM ACCEPTABLE

NOTICE: In accordance with Wisconsin statute, the user hereby accepts to provide information to the designated "CALL SYSTEM" for the purpose of providing emergency services. The user understands that the user's information may be used for other purposes and that the user's information may be shared with other parties. The user agrees to provide this information to the designated "CALL SYSTEM" and to accept the terms and conditions of use of the "CALL SYSTEM".

DISCLAIMER: The user hereby acknowledges that the user has been provided with the information and that the user is responsible for the user's own actions. The user understands that the user's actions may be subject to the user's own risk and that the user is not liable for any damages or injuries resulting from the user's actions. The user agrees to release and hold harmless the user from any and all claims, damages, and expenses, including reasonable attorneys' fees, that may be asserted against the user by any third party as a result of the user's use of the "CALL SYSTEM".

5 4 3 2 1

C B A



Application #22-VA-6220

Date of Hearing:

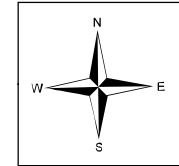
December 21, 2022

Owner(s):

**WINNEBAGO COUNTY
(ADAM BREEST)**

Subject Parcel(s):

026064104



Winnebago County
WINGS Project

Scale

1 inch : 400 feet

County Zoning Districts

R-1	PDD	B-1
R-2	A-1	B-2
R-3	A-2	B-3
R-4	I-1	M-1
R-8	I-2	Town Zoning

*City of Oshkosh Extraterritorial
Zoning Jurisdiction*

Incorporated Area

○ = SITE

Application #22-VA-6220

Date of Hearing:

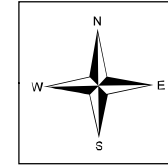
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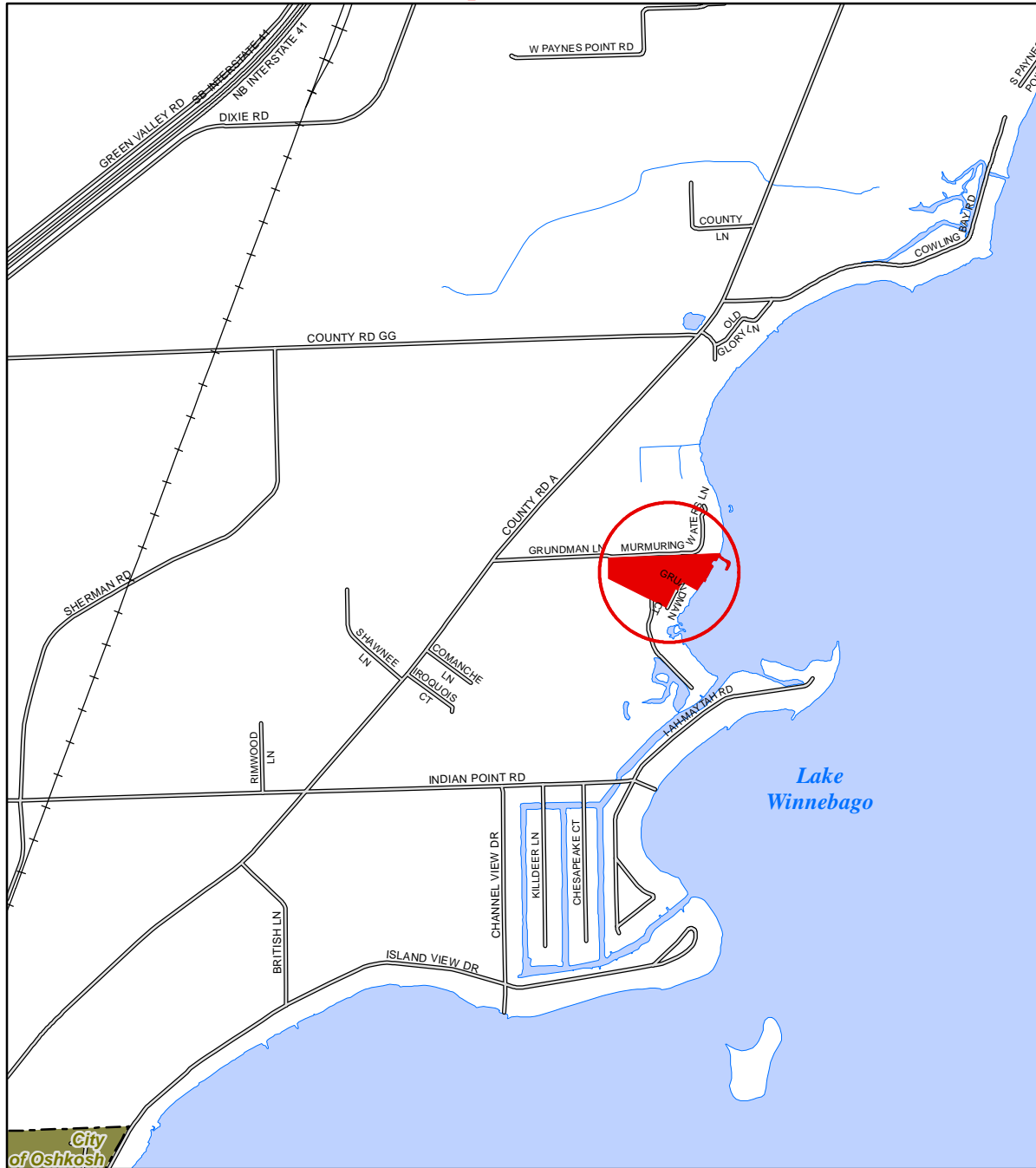
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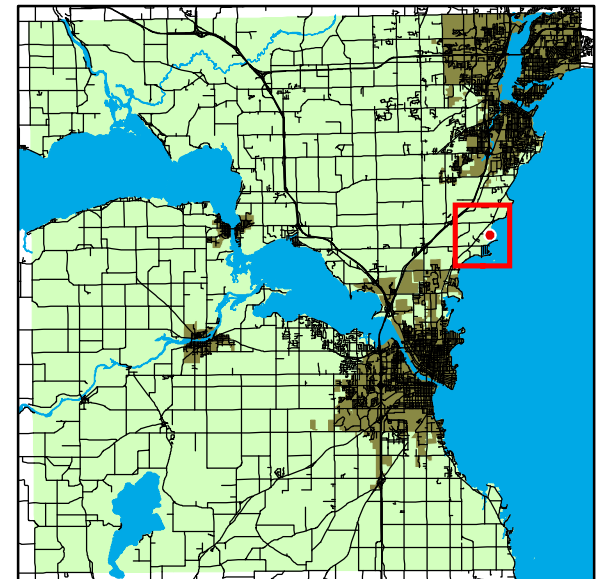
026064104



*Winnebago County
WINGS Project*



● = SITE



City of Oshkosh

1 inch : 2,000 feet

WINNEBAGO COUNTY